

NOTICE – POCOPSON TOWNSHIP ZONING HEARING BOARD

NOTICE is hereby given that the Zoning Hearing Board of Pocopson Township will hold a Public Hearing at the Pocopson Township Municipal Building, 664 South Wawaset Road, West Chester, Pennsylvania, 19382, on Tuesday, July 1, 2025, at 7:30 p.m. at which time the Board will hear the following matter:

Application of Debra and George W. Keever, IV, which seeks special exceptions pursuant to the following sections of the Pocopson Township Zoning Ordinance: §250-87.D(1)(a)(Steep slope conservation) to permit a 79% disturbance of moderately steep slope areas where 25% is the maximum permitted disturbance; §250-87.D(1)(b)(Steep slope conservation) to permit 92% disturbance of steep slope margin areas where 25% is the maximum permitted disturbance; §250-87.H(1)(Heritage trees) to permit the removal of 25 heritage trees where it is otherwise not permitted; and §250-87.K(1)(b)(Woodlands and hedgerows), to permit a 57% disturbance of woodlands where 20% is the maximum permitted disturbance, for the proposed construction of a single-family detached dwelling on the property located at 8 Deblyn V Lane, West Chester (UPI #63-3-117.8), which is located in the Residential and Agricultural Zoning District.

If you are a person with a disability and wish to attend the public meeting scheduled above and require an auxiliary aide, service or other accommodation to participate in the proceedings; or if you wish to participate remotely, please contact Neil D. Vaughn at 610-793-2151 to discuss how Pocopson Township may best accommodate your needs.

GAWTHROP GREENWOOD, PC
Robert C. Jefferson, IV, Alternate Solicitor

Original Signed

**Addendum to ZHB Application
Of
Debra M. Keever and George W. Keever, IV**

POCOPSON TOWNSHIP
RECEIVED

MAY 14 2025

**Property: 8 Deblyn V Lane
Chester County UPI #: 63-3-117.8**

Applicants, Debra and Ward Keever, hereby submit this addendum to their zoning board hearing application, for the above captioned Property:

1. **Brief description of current use and existing improvements.** The Property at 8 Deblyn V Lane (Property) consists of approximately ten point 4 (10.4) acres and is located in the Pocopson Township R and A Residential and Agricultural zoning district. The Property is a previously approved residential lot in the Deblyn V Subdivision. Although a previously approved residential building lot, the Property is currently undeveloped. To be the applicant's residence
2. **Proposed use and required zoning relief.** The Applicant also intends to construct a driveway which runs from Deblyn V Lane to the front of the proposed dwelling.

As the Property contains restricted slope areas (both moderate and steep), as well as woodlands, which would be disturbed by the proposed construction. Applicant seeks the following zoning relief:

- A. A Special Exception Pursuant to Section 250.87.D (1) (a), to allow 79.0% proposed disturbance of moderately steep slope areas on the Property, where 25 % maximum is permitted under the Ordinance;
- B. A Special Exception Pursuant to Section 250-87.D (1) (b), to allow maybe 92.0% of the proposed disturbance of the steep slope margins, where 25% maximum is permitted under the Ordinance;
- C. A Special Exception Pursuant to Section 250-87.H (1), to allow twenty five (25) heritage trees to be removed from the Property, when the Ordinance permits zero (0) heritage trees to be removed; and
- D. A Special Exception Pursuant to Section 250-87.K (1) (a), to allow 57% proposed disturbance of woodlands areas, when 20% maximum is permitted under the Ordinance.

3. **Description of Proposed Improvements.** Applicants intend to construct a single-family dwelling on the Property which will be used as Applicants' residence. The Property is currently undeveloped, and has been since it's creation. The Property is an approved residential lot in the Deblyn V subdivision. The subdivision plan for the Deblyn V subdivision was approved in April, 1990, and recorded in the Chester County Recorder of Deeds on April 17, 1990 at book – 10313, page - 1. The Property is lot number five (5) in this approved subdivision. The proposed house for the Property will have three (3) floors (which number includes the dwelling and includes a basement and contains 8760 square feet of living area. Applicant also intends to construct a driveway from the Deblyn V Lane, to the front of the proposed driveway. Sewer, stormwater controls and water supply will be handled on site. The proposed driveway will be 550 feet long, 10' feet wide with an enlarged parking area next to the proposed house.
4. **Property owners on Deblyn V Lane located within 1000 feet.** are the following:
- (a.) Samuel Rosauri, 2 Deblyn V Lane, West Chester, PA 19382, (UPI #63-3-117);
 - (b.) Samuel Rosauri, 3 Deblyn V Lane, West Chester, PA 19382, (UPI #63-3-117);
 - (c.) Premraj and Tuisha Makkuni, 4 Deblyn V Lane, West Chester, PA 19382, (UPI #63-3-117.10);
 - (d.) Stephan Figgatt, 5 Deblyn V Lane, West Chester, PA 19382 (UPI #63-3-117.2);
 - (e.) Amol and Aneesha Dhargalkar, 6 Deblyn V Lane, West Chester, PA 19382, (UPI #63-3-117.9);
 - (f.) Jeffrey Brohawn, 7 Deblyn V Lane, West Chester, PA 19382, (UPI # 63-3-117.3); and
 - (g.) Justin and Summer Dunn, 9 Deblyn Lane, West Chester, PA 19382, (UPI # 63-3-117.4).
5. **Property Owners not on Deblyn V Lane within 150 feet,** are the following:
- 6.
- (a.) Pocopson Township, P.O. Box 1, Pocopson, PA 19366, (UPI # 63-3-115);
 - (b.) Philadelphia Electric Co. c/o Real Estate Ampersand Facilities 2301 Market St., Philadelphia, PA 19103 (UPI # 63-3-115.2);
 - (c.) Pocopson Township, P.O. Box 1, Pocopson, PA 19366 (UPI # 63-3-115.2);
 - (d.) Bradley and Anna Galler, 1740 Lenape Rd., West Chester, PA 19382 (UPI #63-3116.1);
 - (e.) Bradley and Anna Galler, 1740 Lenape Rd., West Chester, PA 19382 (UPI #63-3-116.2); and
 - (f.) Pocopson Township, P.O. Box 1, Pocopson, PA 19366 (UPI #63-3-116.3).

APPLICANT: 

APPLICANT: 

1 of 4

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Drawings and Specifications as instruments of service are and shall remain the property of the architect and/or engineer unless the project for which they are made is accepted or not. They are not to be used by the client or others on other projects except by agreement in writing.

Any change or deviation from this plan by the owner, contractor, or surveyor shall release the architect and/or engineer from any and all liability relating thereto unless said change has been approved by the architect and/or engineer in writing.

It is the responsibility of the owner, developer and/or contractor to obtain any and all permits or approvals required for the construction of the house and utility improvements shown on this plan, including but not limited to the required NPDES Permit. If cumulative disturbance over the life of the project is 1.0 acres or more, any decisions made by the owner, developer and/or contractor to circumvent the normal permitting process shall be at their sole risk and shall release Hillcrest Associates, Inc. from any liability resulting therefrom.

Completeness or accuracy of location and depth of underground utilities or structures cannot be guaranteed. The contractor shall verify the location and depth of all underground utilities and facilities prior to beginning any construction.

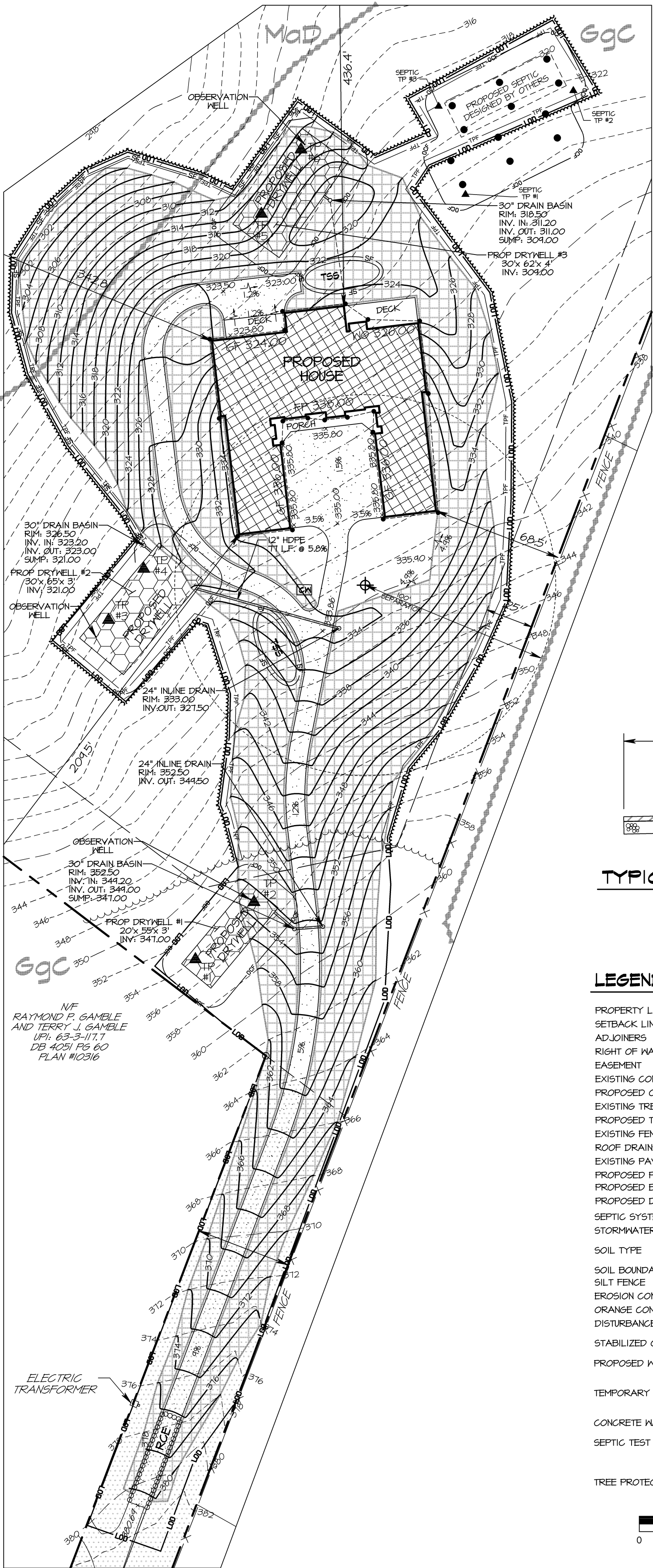
It is the intent of the grades shown on this plan to provide positive drainage to specific drainage structures. The contractor, owner or surveyor shall verify Hillcrest Assoc., Inc. prior to the commencement of such work if a delineated grade would create an improvement of water or an undesirable condition.

Contractor/Builder may find variations in "Existing Grades" due to cut and fill operations performed during road and utility construction. Hillcrest Associates, Inc. assumes no responsibility for any such grading adjustments.

The contractor, owner or surveyor shall contact Hillcrest Assoc., Inc. immediately if any questions arise whatsoever regarding the intent of the construction plans. Hillcrest Associates, Inc. shall not be liable or responsible for any assumptions made by the owner, contractor, or surveyor.

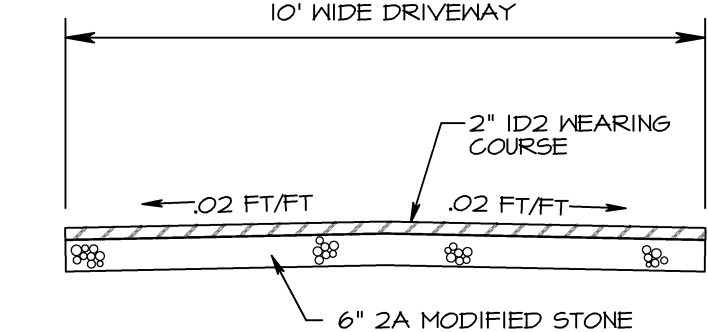
Septic system installation shall be in accordance with all applicable Chester County Septic System Regulations.

Hillcrest Associates, Inc. and/or its employees assume no liability for any malfunctioning septic systems due to fluctuations in the water table, faulty installation, or lack of maintenance.



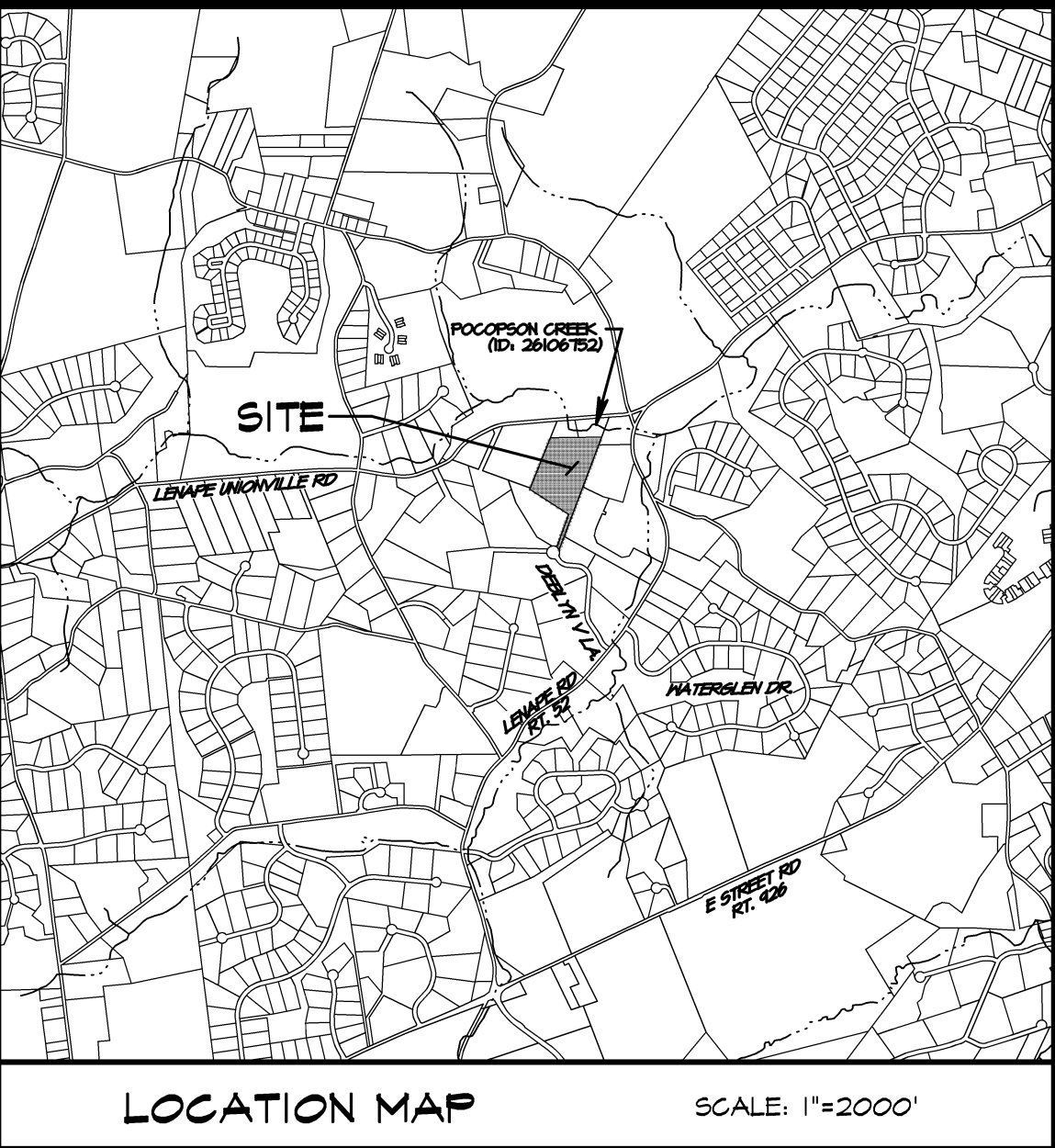
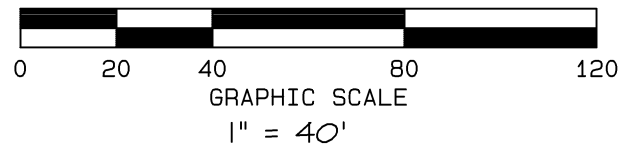
SOILS LEGEND

SOIL	NAME	DEPTH TO WATER TABLE	HSG
Ggc	GLENNEL SILT LOAM, 0 TO 15 PERCENT SLOPES	>18"	B
Mad	MANOR LOAM 15 TO 25 PERCENT SLOPES	>18"	B



LEGEND:

PROPERTY LINE	---
SETBACK LINE	---
ADJOINERS	---
RIGHT OF WAY	---
EASEMENT	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING TREE LINE	---
PROPOSED TREE LINE	---
EXISTING FENCE LINE	---
PROPOSED FENCE LINE	---
ROOF DRAIN	---
EXISTING PAVEMENT	---
PROPOSED PAVEMENT	---
PROPOSED BUILDING	---
PROPOSED DRYWELL	---
SEPTIC SYSTEM	---
STORMWATER TESTING PIT	---
SOIL TYPE	---
SOIL BOUNDARY	---
SILT FENCE	---
EROSION CONTROL MATTING	---
ORANGE CONSTRUCTION FENCE	---
DISTURBANCE	---
STABILIZED CONSTRUCTION ENTRANCE	---
PROPOSED WELL	---
TEMPORARY SOIL STOCKPILE	---
CONCRETE WASHOUT	---
SEPTIC TEST PIT W/ PERC TEST	---
TREE PROTECTION FENCE	---



DATA COLUMN

TAX PARCEL NUMBER:	63-3-117.0	
DEED BOOK / PAGE NUMBER:	11250 / 51	
LOT ACREAGE:	10.4 AC (453,946 SF)	
STREET ADDRESS:	0 DEBLYN V LA POCOPSON, PA 19302	
OWNER'S NAME:	GEORGE W. IV I DEBRA M. KEEVER	
OWNER'S ADDRESS:	34 BRISTOL LANE NEWARK, DE 19711	
WATER SUPPLY / SEWAGE DISPOSAL:	SEWAGE DISPOSAL: ON-LOT ZONING: RA - CONVENTIONAL DEVELOPMENT*	
* PER SECTION 250-20(A).		
AREA & BULK REGULATIONS	REQUIRED:	PROPOSED:
MINIMUM LOT SIZE:	2.00 AC	10.42 AC
MINIMUM LOT WIDTH	200'	200'
BUILDING LINE:	50'	55.11'
STREET LINE:		
MINIMUM SETBACKS -		
BUILDING SETBACK:	50' / 100'	204.5'
REAR YARD SETBACK:	50'	436.4'
SIDE YARD SETBACK:	25' / 75' AGG.	66.5' / 411.3' AGG.
MAXIMUM BUILDING HEIGHT:	35'	35'
MAXIMUM BUILDING COVERAGE:	5%	2.2%
MAXIMUM IMPERVIOUS COVERAGE:	10%	5.2%

BEFORE YOU DIG ANYWHERE
IN PENNSYLVANIA
CALL 1-800-242-1776

PA ACT 187 REQUIRES 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

PA ONE CALL SYSTEM, INC.
SERIAL #

TOTAL AREA TO BE DISTURBED: 96,560 SF (2.22 AC)

Hillcrest
ASSOCIATES

ARCHITECTURE • ENGINEERING • LAND PLANNING • SURVEYING

P.O. BOX 1180
HOCKESSIN, DE 19077

PH: 610.274.0567
FAX: 610.274.0567

POST CONSTRUCTION STORMWATER
MANAGEMENT PLAN
8 DEBLYN V LANE
POCOPSON TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA

DATE:	4-21-25	REVISION	
DRAWN BY:	JFH		
CHECKD. BY:	TAS		
PROJ. NO.:	4456-4		
SCALE:	N/A		
CAD FILE NAME:	4456-41.62.DWG		

DWG. NO.

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Drawings and specifications are instruments of service and shall remain the property of the Architect and/or Engineer whether the project for which they are made is executed or not. They are not to be used by the client or others on other projects or extensions to this project except by agreement in writing.

Any changes or deviation from these plans by the Owner, Contractor or Surveyor shall release the Architect and/or Engineer from any and all liability relating thereto unless such change has been approved by the Architect and/or Engineer in writing.

This drawing does not include necessary components for construction safety in slope construction shoring, or temporary bracing. All construction must be done in compliance with the Occupational Safety and Health Act of 1970 and all rules and regulations thereof.

The Architect and/or Engineer can not be responsible for existing conditions or the accurate measurement of same. The Contractor shall verify all dimensions and conditions prior to bidding. Commencement of work shall constitute acceptance of the conditions.

It is the intent of the grades shown on these plans to provide positive drainage to specific outfalls and drainage structures. The Contractor, Owner or Surveyor must notify Hillcrest Associates, Inc. prior to the commencement of such work. If a detoured grade would create an impediment to water or an undesirable condition, The Contractor, Owner or Surveyor shall contact Hillcrest Associates, Inc. immediately. If any questions arise whatsoever regarding the intent of the construction plans, Hillcrest Associates, Inc. shall not be liable or responsible for any assumptions made by the Owner, Contractor or Surveyor.

The Final Plan is to be considered an integral part of the construction plans. All information shown on the Final Plan shall be strictly adhered to.

Completeness or accuracy of location and depth of underground utilities or structures can not be guaranteed. The Contractor must verify location and depth of all underground utilities and facilities prior to beginning construction.

It is the responsibility of the Owner, Developer and/or Contractor to obtain any and all permits or approvals required for the construction of the road and utility improvements shown on these plans. Any decisions made by the Owner, Developer and/or Contractor to circumvent the normal permitting process shall be at his sole risk and shall release Hillcrest Associates, Inc. from any liability resulting therefrom.

DRYWELL DIMENSIONS (FOR CONSTRUCTION)

DRYWELL FACILITY	WIDTH (FT)	LENGTH (FT)	DEPTH (FT)	TOP OF BED ELEVATION (FT)	BOTTOM OF BED ELEVATION (FT)	DISTRIBUTION PIPE INVERT (FT)	BOTTOM OF INLET ELEVATION (FT)
BMP #1	20.0	55.0	3.0	350.00	347.00	344.00	347.00
BMP #2	30.0	65.0	3.0	324.00	321.00	323.00	321.00
BMP #3	30.0	62.0	4.0	313.00	309.00	311.00	309.00

SOIL INFILTRATION TEST RESULTS

TEST PIT	EXISTING GRADE ELEVATION	LIMITING CONDITION ELEVATION	ELEVATION OF TEST	ELEVATION OF SPM FACILITY	TEST RESULTS (IN./HR.)	BMP ID	GEO. MEAN (IN./HR.)	DESIGN RATE** (IN./HR.)
TP #1	354.0'±	N/A* - 346.5'	348.0	347.0	1.76			
TP #2	354.0'±	N/A* - 347.8'	350.0	347.0	12.78	#1	6.17	3.04
TP #3	328.0'±	N/A* - 321.3'	324.0	321.0	1.76			
TP #4	328.0'±	N/A* - 314.8'	322.0	321.0	10.00			
TP #5	314.0'±	N/A* - 305.8'	310.0	309.0	0.50	#2	5.51	2.76
TP #6	314.0'±	N/A* - 305.8'	308.0	309.0	1.00	#3	1.73	0.87

* - NO LIMITED CONDITION FOUND; BOTTOM OF LIMITING TEST PIT USED

** - DESIGN RATE OF INFILTRATION IS BASED ON GEOMETRIC MEAN OF RESULTS WITH A SAFETY FACTOR OF 2 APPLIED.

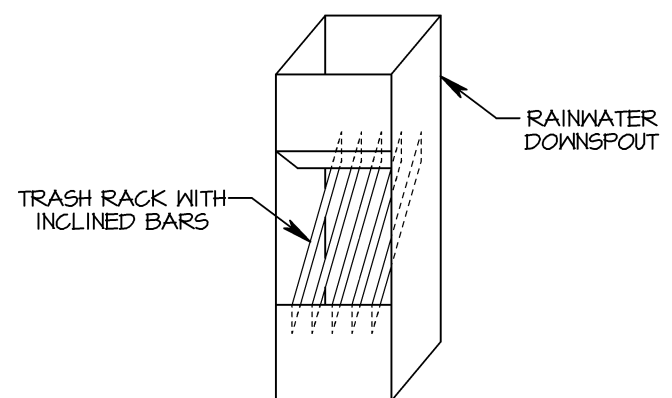
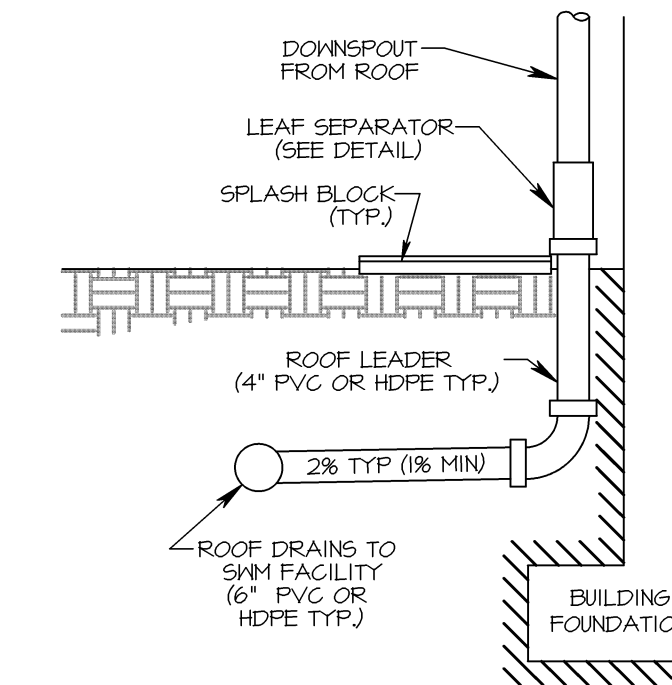
SEQUENCE OF CONSTRUCTION:

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

1. AN ON-SITE PRE-CONSTRUCTION MEETING IS REQUIRED TO OCCUR NO LESS THAN 7 DAYS PRIOR TO ANY EARTH DISTURBANCE UNLESS NOTIFIED OTHERWISE BY THE TOWNSHIP. PERMITTEES, COMMITTEES, OPERATORS, ALL APPROPRIATE MUNICIPAL OFFICIALS, AND LICENSED PROFESSIONALS OR DESIGNEES RESPONSIBLE FOR THE EARTH DISTURBANCE ACTIVITY, INCLUDING IMPLEMENTATION OF E45 AND PCSM PLANS AND CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN, SHALL ATTEND A PRE-CONSTRUCTION MEETING.
2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-242-IT66 FOR BURIED UTILITIES LOCATION.
3. INSTALL PERIMETER CONTROL AND STONE CONSTRUCTION ENTRANCE AS DESIGNATED ON THE PLAN.
4. ENCIRCLE THE PROPOSED STORMWATER INFILTRATION AREA AND SEPTIC AREA WITH ORANGE CONSTRUCTION FENCE TO AVOID COMPACTION FROM CONSTRUCTION EQUIPMENT.
5. STAKE OUT THE BUILDING, STRIP TOPSOIL, AND STOCKPILE IN AREAS DESIGNATED ON THE PLAN. TOPSOIL STOCKPILES WILL BE ENCIRCLED WITH 18" SILT FENCE AND STABILIZED IMMEDIATELY WITH STRAW MULCH.
6. EXCAVATE SITE TO ROUGH GRADE ELEVATION, AND INSTALL SHALE PER NOTES PROVIDED. EXCESS SUBSOIL THAT WILL NOT BE USED DURING THE FINAL GRADING PROCESS SHALL BE HAULED OFF SITE TO AN APPROVED LOCATION. THE LANDOWNER MUST EXERCISE DUE DILIGENCE IN MAINTAINING ANY SOIL HAULED OFF SITE IS CLEAN FILL. IN CONFORMANCE WITH DUE DILIGENCE FINDINGS, ASPHALT AND STONE WILL BE DISPOSED OF AT AN APPROVED RECYCLING FACILITY. ALL SUBSOIL REMOVED FROM THE SITE WILL BE CLEAN FILL MATERIAL. IF ANY DISCREPANCIES ARE NOTED DURING EXCAVATION, THE PROJECT ENGINEER WILL BE CONTACTED TO ESTABLISH THE PROPER COURSE OF ACTION FOR THE DISPOSAL OF THE NON-CLEAN FILL.
7. BUILDING CONSTRUCTION MAY COMMENCE ONCE THE PERIMETER CONTROLS HAVE BEEN INSTALLED, CONSTRUCT BUILDINGS, AND UTILITIES.
8. AS CONSTRUCTION PROGRESSES, MAINTAIN SHEET FLOW OF SURFACE RUNOFF TOWARD THE INSTALLED PERIMETER CONTROLS.
9. INSTALL ROOF DRAINS AND INFILTRATION BASIN PER NOTES PROVIDED.
10. FINISH GRADE AND IMMEDIATELY STABILIZE WITH SEED PER THE PERMANENT SEEDING SPECIFICATIONS.
11. WHEN THE AREA TRIBUTARY TO THE INFILTRATION FACILITY IS DETERMINED TO BE UNIFORMLY STABILIZED (10% VEGETATIVE COVER) BASED ON A SITE INSPECTION BY THE TOWNSHIP, PRIOR TO THE REMOVAL OF ANY E45 CONTROL FACILITY THE TOWNSHIP MUST INSPECT THE FACILITY AND APPROVE THE REMOVAL.

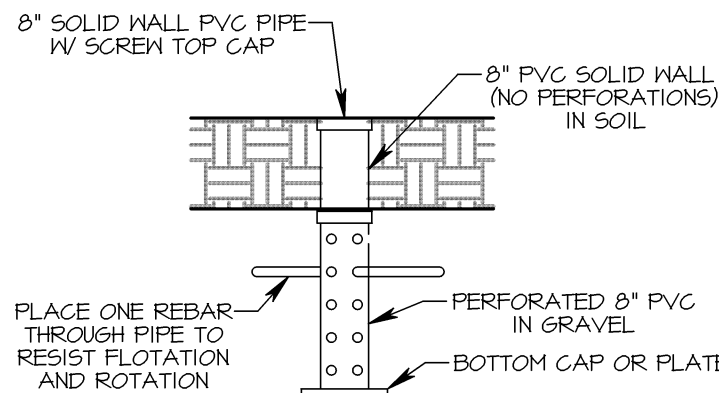
DRYWELL INSTALLATION:

1. Prior to any lot disturbance, install orange construction fencing around the septic fields and drywell infiltration areas to protect them from compaction due to heavy equipment. In the event of accidental compaction or grading, protected areas shall be remediated to restore soil composition and porosity. The Township may require the size of the infiltration facility to be expanded to compensate for the unintended compaction. Adequate documentation of the remediation effort shall be submitted to the Township Engineer for review and comment.
2. Excavate the drywell to the design dimensions. Excavated materials shall be placed away from the excavated sides to enhance wall stability. Large tree roots shall be trimmed flush with the sides in order to prevent fabric puncturing or tearing during subsequent installation procedures. The sidewalls of the infiltration bed shall be roughened where sheared and sealed by heavy equipment.
3. If unfavorable conditions present (i.e.- bedrock, groundwater, etc.), construction shall immediately cease and the design engineer shall be contacted in order to either re-locate or re-design the system.
4. The non-woven geotextile roll shall be cut to proper width prior to installation. The cut width must include sufficient material to provide a 12-inch minimum overlap for all joints. Stones or other anchoring objects should be placed on the fabric at the edge of the bed to keep the lined bed open during windy periods.
5. Voids can be created between the fabrics and excavation sides and should be avoided. Removing boulders or other obstacles from the bed walls is one source of such voids. Natural soils should be placed in these voids at the most convenient time during construction to ensure fabric conformity to the excavation sides. This remedial process will avoid soil piping, fabric clogging, and possible surface subsidence.
6. Vertical drywell walls may be difficult to maintain in areas where the soil moisture is high or where soft cohesive or cohesionless soils predominate. These conditions may require laying back of the side slope to maintain stability. Trapezoidal rather than rectangular cross sections may result.
7. Drainage aggregate shall be checked prior to installation into the drywell to ensure that it is clean washed stone.
8. Care shall be exercised to prevent natural or fill soils from intermingling with drainage aggregate. All contaminated aggregate shall be removed and replaced with uncontaminated aggregate.
9. Drainage aggregate shall be placed in lifts. As a rule of thumb, a maximum loose lift thickness of 12 inches is recommended.
10. Install the perforated distribution pipes per the infiltration bed detail.
11. Following aggregate placement, the fabric previously weighted by stones should be folded over the aggregate to form a 12-inch minimum longitudinal overlap. The desired fill soil or parking lot subgrade/stone should be placed over the top at sufficient interval to maintain the top during subsequent backfilling.
12. The drywell shall not be placed in service until all of the contributing drainage area has been stabilized and approved by the Township. The pipes into the infiltration bed shall be capped with watertight seals until the area tributary to the infiltration bed is stabilized. (An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.)



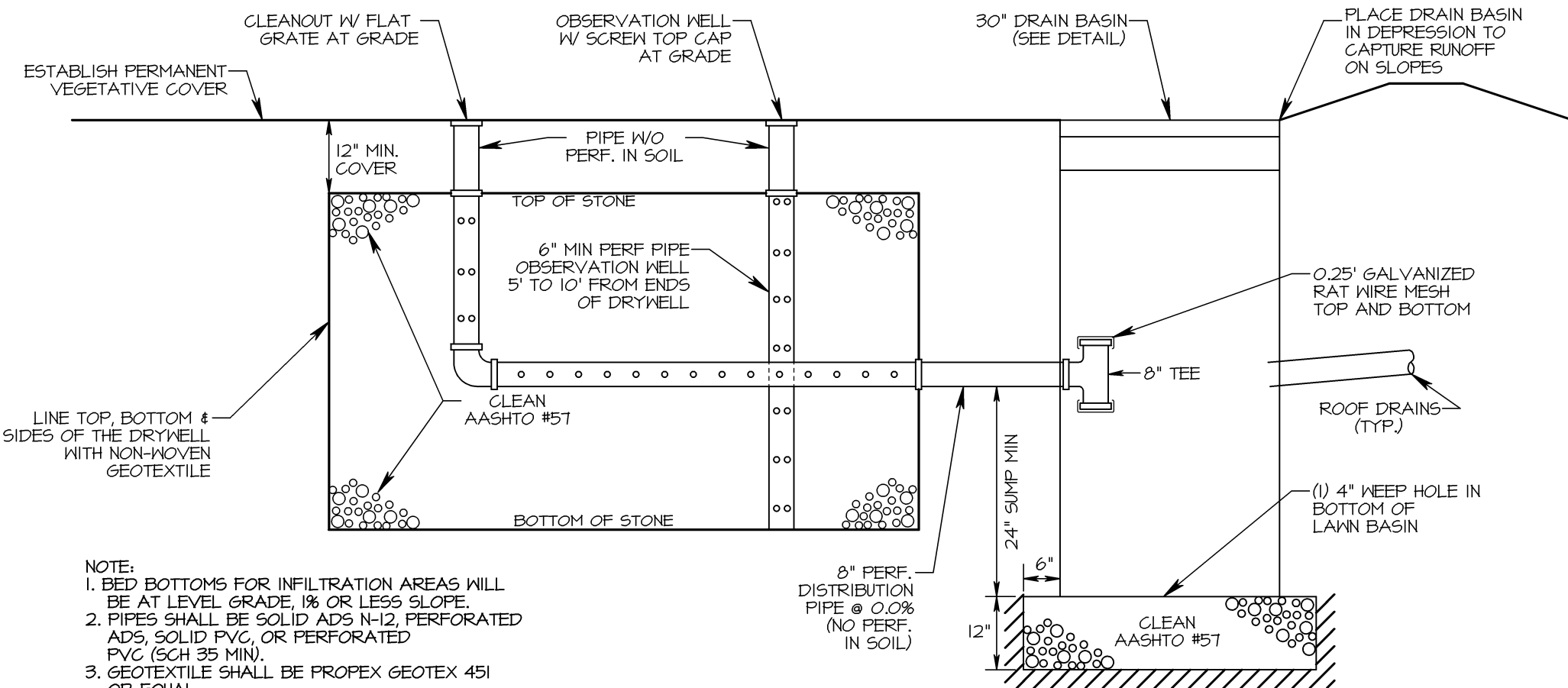
LEAF SEPARATOR DETAIL

LEAF SEPARATOR OR "GUTTER GUARD" OR SIMILAR TYPE OF DEVICE MUST BE INSTALLED TO PREVENT DEBRIS FROM ENTERING DRYWELL



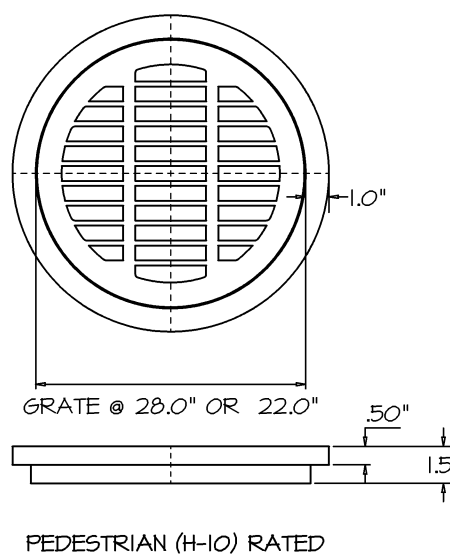
OBSERVATION WELL DETAIL

SCALE : NOT TO SCALE



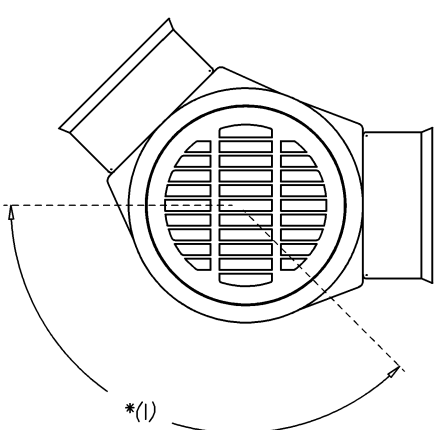
TYPICAL DRYWELL AND ROOF DRAIN CONNECTION DETAIL

NOT TO SCALE

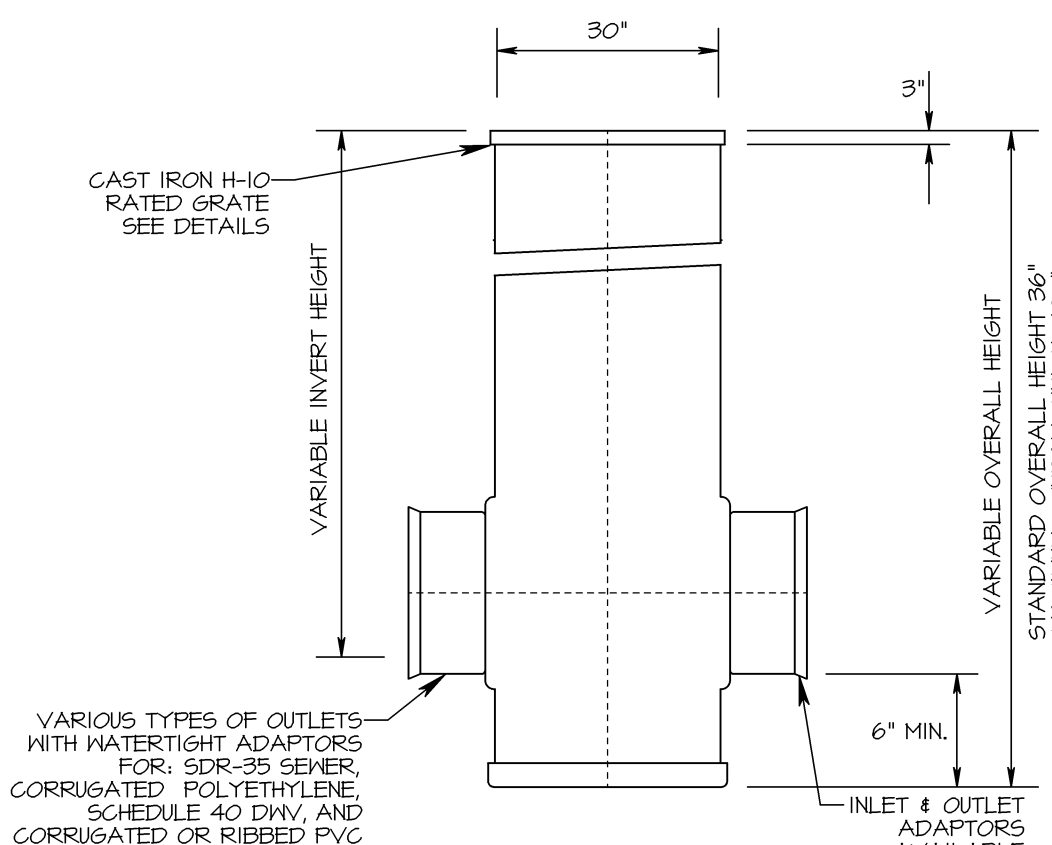


30" GRATE DETAIL

NOT TO SCALE



*(1) ADAPTORS CAN BE MOUNTED ON ANY ANGLE 0° TO 354°



30" ADS DRAIN BASIN DETAIL

NOT TO SCALE

PCSM BMP OPERATION & MAINTENANCE PLAN:

The property owner is responsible for long-term operation and maintenance of the PCSM BMP'S.

1. The infiltration area and yard drain shall be inspected quarterly, and any trash, debris, sediment, or similar material shall be removed and properly disposed of.
2. Any leaves/debris/trash observed on the yard inlet grates shall be immediately removed to provide free flow into the inlet box.
3. At no time shall vehicles be parked or driven over the infiltration area.
4. The stormwater management facilities shown on these plans - including but not necessarily limited to the infiltration area and roof drain connections - are permanent and are not to be removed. The individual lot owner along with his successors and assigns shall assume the responsibility for perpetual maintenance of the said facilities. If the lot owner, or his successors or assigns, fails in any way to maintain the said facilities or causes the facilities to be altered or removed, the township may provide written notification to the owner to correct the defect(s) promptly at the owner's expense. Upon the owner's failure to correct the defect(s) within the time specified by the township, the township shall have the right (but not the obligation) to enter upon the property to make the necessary repairs, maintenance, and/or corrections. A lien may be filed against the property for all costs of said work, including applicable engineering and/or attorney's fees. This maintenance responsibility shall be incorporated into the deed.
5. The stormwater best management practices shown on this plan are permanent structures that can be altered or removed only after approval by Pocopson Township.
6. A written report shall be completed after every BMP inspection, repair, and/or maintenance activities.
7. Inspection, repair, monitoring records, and maintenance reports shall be available for review and inspection by the PADEP and Chester County Conservation District.
8. Failure of the infiltration system will be indicated by stormwater overflowing the inlet, downspouts, or monitoring pipes, or when the stormwater does not drain within a 24 hour period after a 2-year storm. If an overflow is observed, the owner shall inspect the system for clogs and remove any debris from the system. If the 2-year stormwater does not drain from the basin within 24 hours, contact the design engineer for further evaluation.
9. The PCSM plan, inspection reports and monitoring records shall be available for review and inspection by the Department and conservation district.
10. Structural BMP'S should be inspected for accumulation of sediment, damage to outlet structures, and signs of contamination or spills.

NOTE:

Any changes of the Waterway and Wetland encroachment/impacts recommended by any reviewing body that will affect the PCSM or E45 plans associated with the water destruction of encroachment activities shall have those plans updated and submitted to the Chester County Conservation District.

TOPSOIL REPLACEMENT

1. Graded areas should be scarified or otherwise loosened to a depth of 3"-5" to permit bonding of the topsoil to the surface areas and to provide a roughened surface to prevent topsoil from sliding down slope.
2. Topsoil should be uniformly distributed across the disturbed area to a depth of 4"-8" minimum - 2 inches on fill outcrops.
3. Spreading should be done in such a manner that sodding or seeding can proceed with a minimum of additional preparation or tillage.
4. Irregularities in the surface resulting from topsoil placement should be corrected in order to prevent formation of depressions unless such depressions are part of the PCSM plan.
5. Topsoil should not be placed while the topsoil is in a frozen or muddy condition.
6. Compacted soils should be scarified 6"-12" along contour wherever possible prior to seeding.

CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS

Depth (in)	Per 1,000 Square Feet	Per Acre
1	3.1	134
2	6.2	260
3	9.3	408
4	12.4	551
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1074

TEMPORARY SEEDING SPECIFICATIONS:

Where it is not possible to permanently stabilize a disturbed area upon completion or temporary cessation of the earth disturbance activity, temporary seeding shall be done using the following seeding specifications:

SEED: Minimum 40% Purity and 85% Germination

March 15 - October 15:
50% Winter Rye
50% Annual Rye Grass
40 lbs/acre Seeding Rate

October 16 - March 14
Annual Rye Grass
40 lbs/acre Seeding Rate

FERTILIZER: Standard Quality 50-50-50

LIME: Agricultural Limestone - 1 ton/acre
85% minimum of carbonates

MULCH: Straw or Hay - 3 tons/acre

PERMANENT SEEDING SPECIFICATIONS:

The specifications below are general in nature and acceptable for most soil types. It is still recommended to obtain soil samples from the site and test them at a qualified laboratory to determine the most suitable species and application rates for the seed, lime and fertilizer in accordance with Penn State Erosion Control and Conservation Planting in Non-Cropland.

SEED: Minimum 40% Purity and 85% Germination

March 15 - May 31 & August 15 - October 15:
60% Kentucky Bluegrass
10% Perennial Ryegrass
30% Pennine Fescue
4 lbs/1000 sq. ft. Seeding Rate

June 1 - August 14 & October 16-March 14:
See temporary seeding specifications above.
Reseed with permanent cover March 15 - May 31 & August 15 - October 15.

FERTILIZER: Standard Quality 50-50-50

LIME: Agricultural Limestone - 1 ton/acre
85% minimum of carbonates

MULCH: Straw or Hay - 3 tons/acre

Permanent seeding shall only occur during the dates listed above. If areas are prepared for seeding at other times, then the prepared seedbed shall be heavily mulched with clean unrattled small grain straw or salt hay at a rate of 3 tons per acre. The mulch shall remain in place until seeding dates are appropriate. The mulch shall be removed; the area shall be dressed, seeded and mulched as described above.

Areas which are to be top-soiled shall be scarified to a minimum depth of 3-5 inches (6-12 inches in compacted soils) prior to the placement of topsoil. Areas to be vegetated shall have a minimum of 4 inches of topsoil in place prior to seeding and mulching.

NOT PUBLISHED. ALL RIGHTS RESERVED.

Drawings and specifications as instruments of service are and shall remain the property of the Architect and/or Engineer whether the project for which they are made is executed or not. They are not to be used by the client or others on other projects or extensions to the project except by agreement in writing.

Any changes or deviation from these plans by the Owner, Contractor or Builder shall release the Architect and/or Engineer from any and all liability resulting therefrom unless such change has been approved by the Architect and/or Engineer in writing.

This drawing does not include necessary components for construction safety, in slope construction shoring or temporary bracing. All construction must be done in compliance with the Occupational Safety and Health Act of 1970 and all rules and regulations thereof applicable.

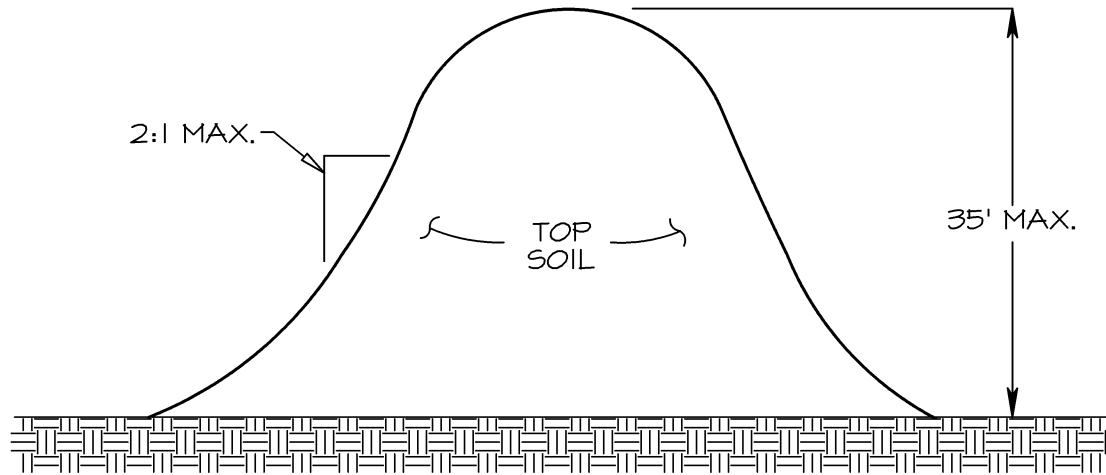
The Architect and/or Engineer can not be responsible for existing conditions or the accurate measurement of same. The Contractor shall verify all dimensions and conditions prior to bidding. Commencement of work shall constitute acceptance of the conditions.

It is the intent of the grades shown on these plans to provide positive drainage to specific outfalls and drainage structures. The Contractor, Owner or Surveyor must notify Hillcrest Associates, Inc. prior to the commencement of such work if a delineated grade would create an impediment of water or an undesirable condition. The Contractor, Owner or Surveyor shall contact Hillcrest Associates, Inc. immediately if any questions arise whatsoever regarding the intent of the construction plans. Hillcrest Associates, Inc. shall not be liable or responsible for any assumptions made by the Owner, Contractor or Surveyor.

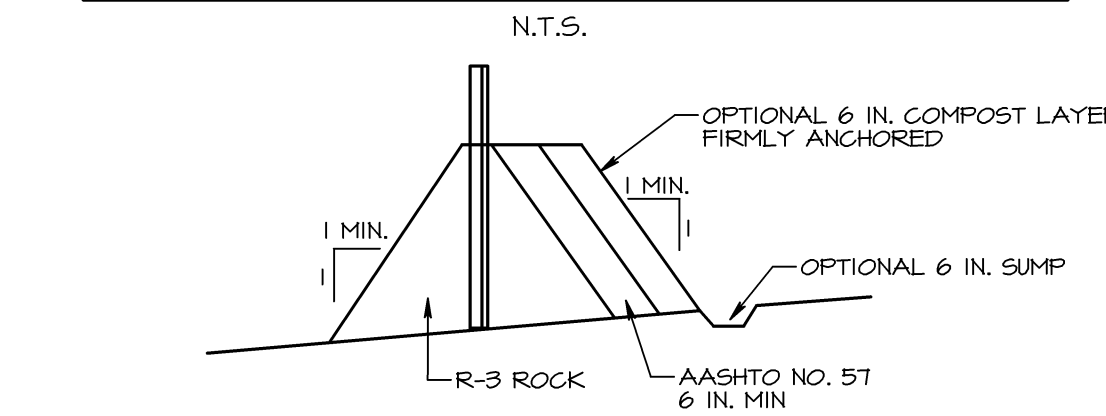
The Final Plan is to be considered an integral part of the construction plans. All information shown on the Final Plan shall be strictly adhered to.

Completeness or accuracy of location and depth of all underground utilities and facilities prior to beginning construction.

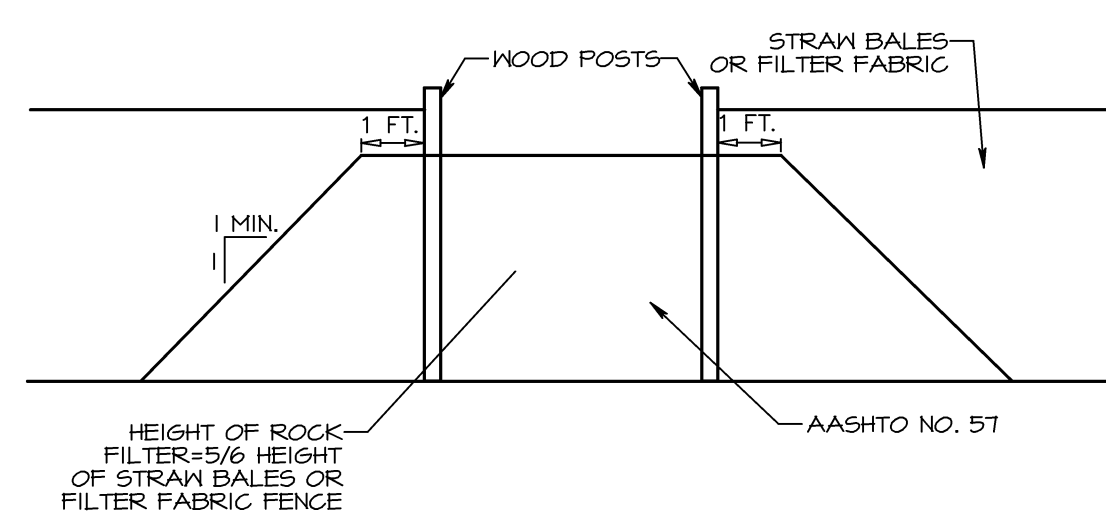
It is the responsibility of the Owner, Developer and/or Contractor to obtain any and all permits or approvals required for the construction of the road and utility improvements shown on these plans. Any decisions made by the Owner, Developer and/or Contractor to deviate from the normal permitting process shall be at its sole risk and shall release Hillcrest Associates, Inc. from any liability resulting therefrom.



TYPICAL SOIL STOCKPILE CROSS SECTION



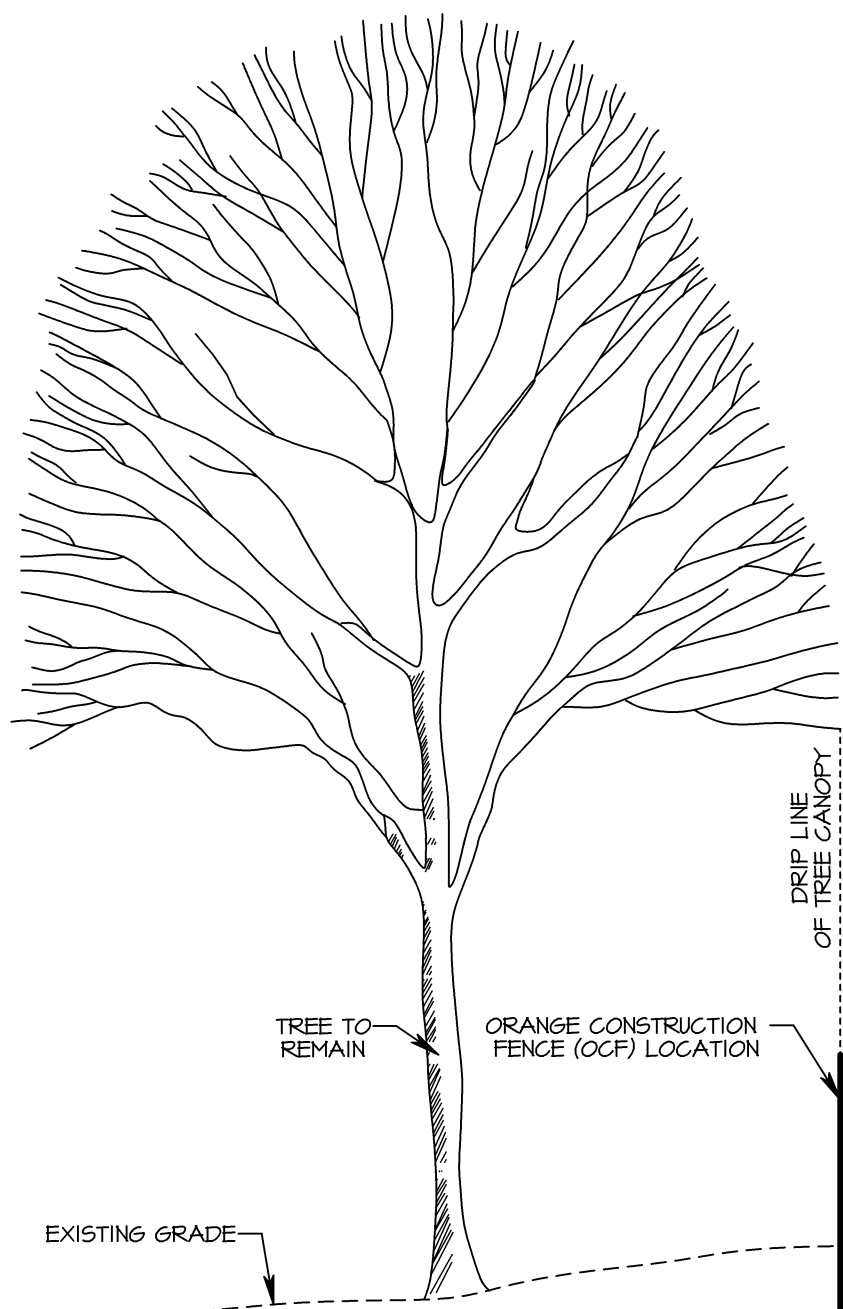
OUTLET CROSS-SECTION



NOTES:
A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAP BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

ROCK FILTER OUTLET
STANDARD DETAIL 4-6

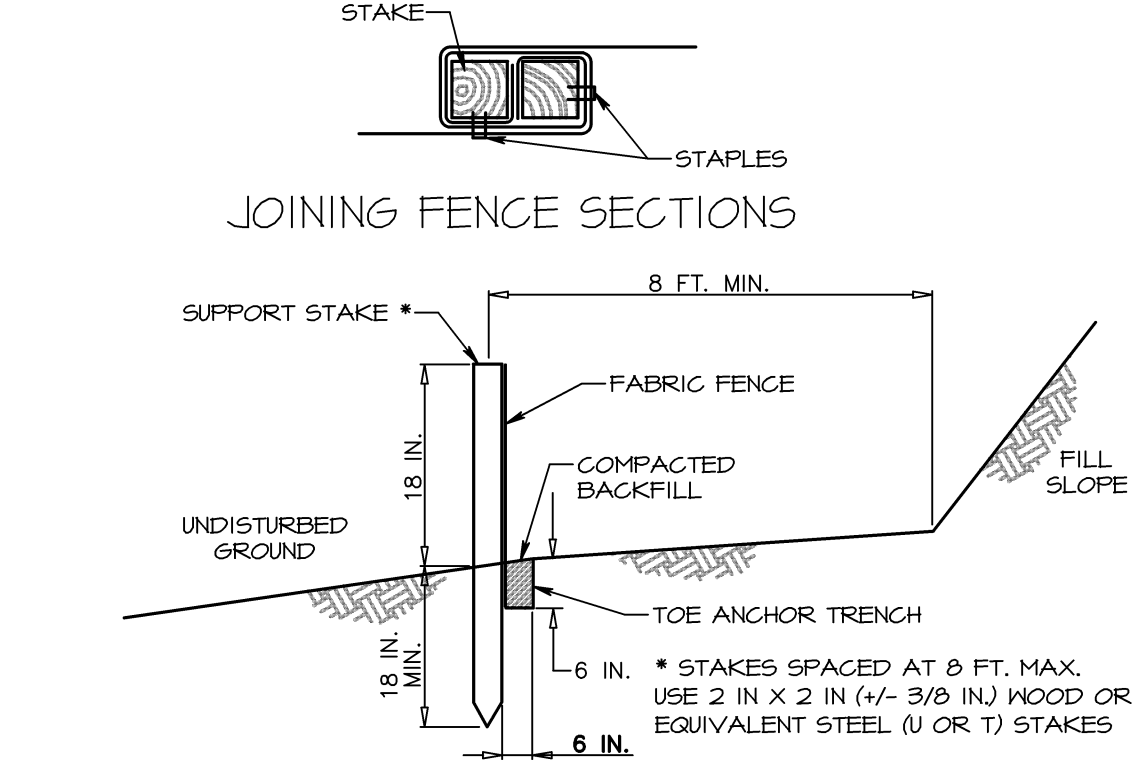
NOT TO SCALE



TREE PROTECTION DETAIL

NOT TO SCALE

NOTE:
THE ORANGE CONSTRUCTION FENCE SHALL BE MAINTAINED UNTIL ALL CONSTRUCTION AND OTHER WORK HAS BEEN COMPLETED. GRADE CHANGES AND EXCAVATIONS SHALL NOT ENROACH UPON THE TREE PROTECTION ZONE (TPZ). TREES BEING REMOVED FROM THE SITE SHALL NOT BE FILLED, PRUNED, OR FILLED INTO THE TPZ. NO TOXIC MATERIALS SHALL BE STORED WITHIN 100 FEET OF THE TPZ, INCLUDING PETROLEUM BASED AND DERIVED PRODUCTS. NO MATERIALS SHALL BE STORED, EITHER TEMPORARILY OR PERMANENTLY, NOR VEHICLES OR EQUIPMENT PARKED, WITHIN THE TPZ.



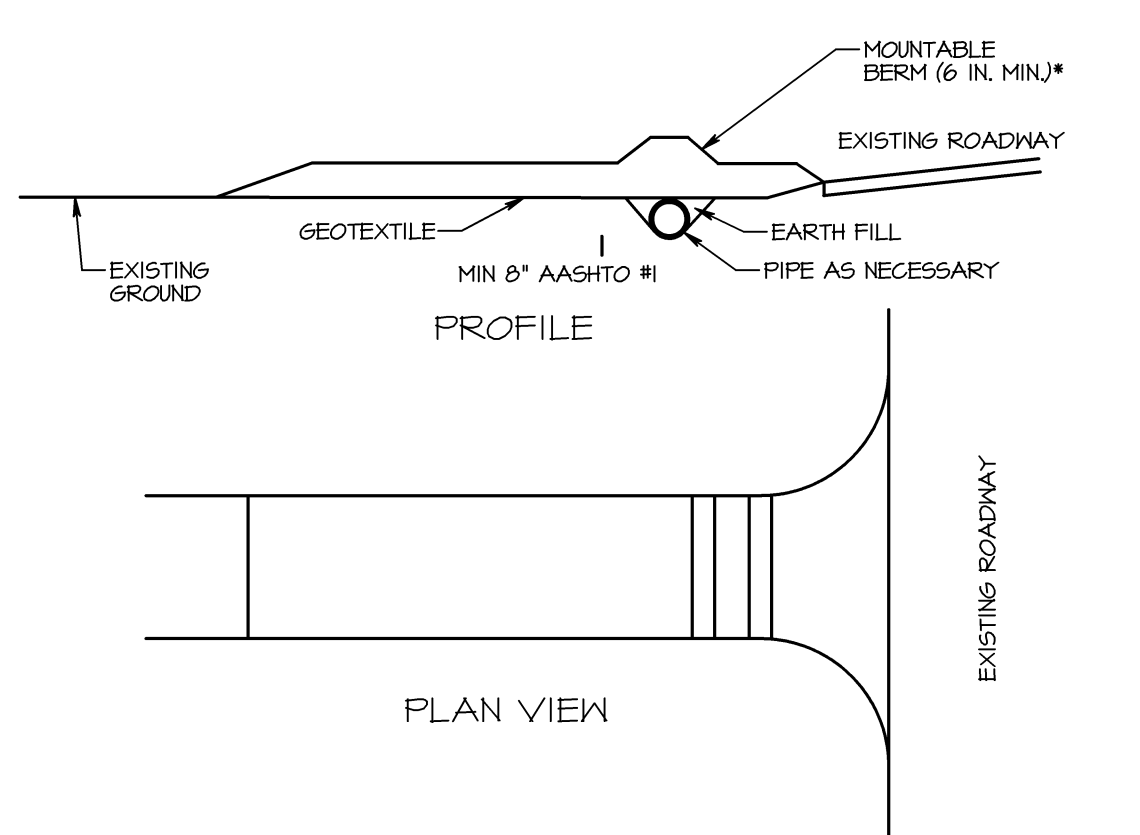
SECTION VIEW

NOTES:
FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL.
FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.
SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 10 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD DETAIL # 4-6).
FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

STANDARD SILT FENCE (18" HIGH)

STANDARD DETAIL 4-7

NOT TO SCALE



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE.
SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY.
IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK.
WASHING THE ROADWAY OR SHEERING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

ROCK CONSTRUCTION ENTRANCE

STANDARD DETAIL 3-1

NOT TO SCALE

TEMPORARY SEEDING SPECIFICATIONS:

Where it is not possible to permanently stabilize a disturbed area upon completion or temporary cessation of the earth disturbance activity, temporary seeding shall be done using the following seeding specifications:

SEED: Minimum 90% Purity and 85% Germination

March 15 - October 15:
50% Winter Rye
50% Annual Rye Grass
40 lbs/acre Seeding Rate

October 16 - March 14:
Annual Rye Grass
40 lbs/acre Seeding Rate

FERTILIZER: Standard Quality 50-50-50

LIME: Agricultural Limestone - 1 ton/acre
85% minimum of carbonates

MULCH: Straw or Hay - 3 tons/acre

PERMANENT SEEDING SPECIFICATIONS:

The specifications below are general in nature and acceptable for most soil types. It is still recommended to obtain soil samples from the site and test them at a qualified laboratory to determine the most suitable species and application rates for the seed, lime and fertilizer in accordance with Penn State Erosion Control and Conservation Planting in Non-Cropland.

SEED: Minimum 90% Purity and 85% Germination

March 15 - May 31 & August 15 - October 15:
60% Kentucky Bluegrass
10% Perennial Ryegrass
30% Perennial Fescue
4 lbs/1000 sq. ft. Seeding Rate

June 1 - August 14 & October 16-March 14:
See temporary seeding specifications above.
Reseed with permanent cover March 15 - May 31 & August 15 - October 15.

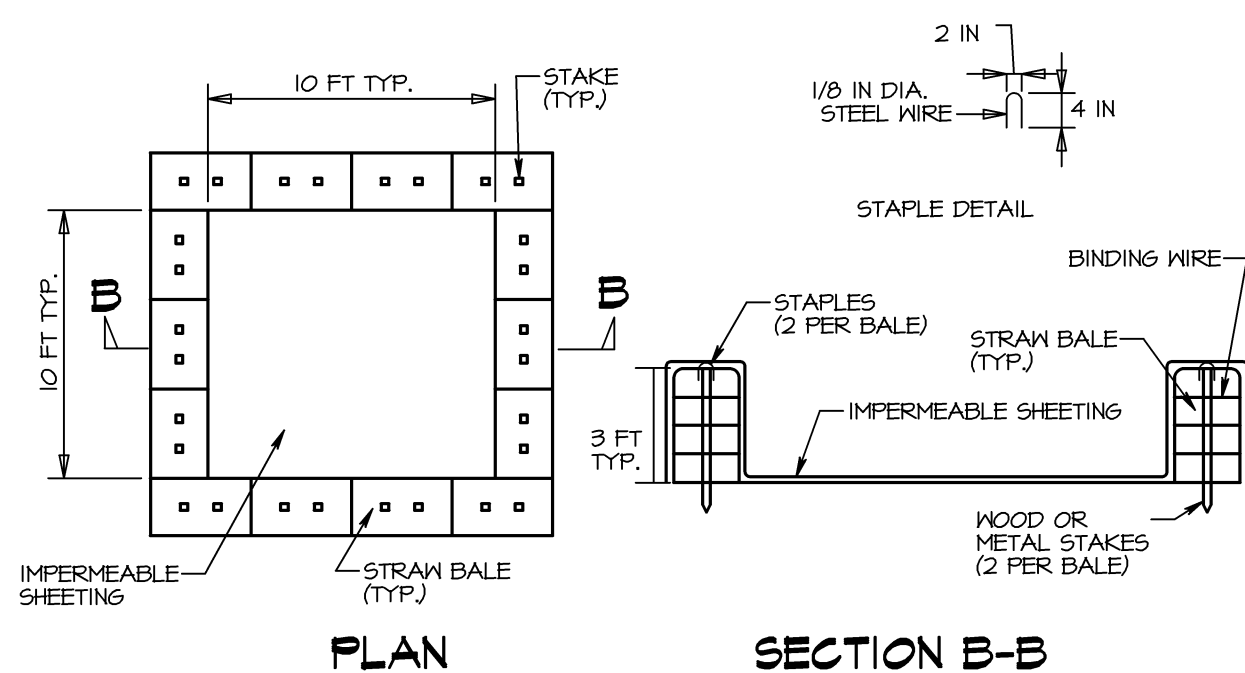
FERTILIZER: Standard Quality 50-50-50 per acre

LIME: Agricultural Limestone - 1 ton/acre
85% minimum of carbonates

MULCH: Straw or Hay - 3 tons/acre

Permanent seeding shall only occur during the dates listed above. If areas are prepared for seeding at other times, then the prepared seedbed shall be heavily mulched with clean unrotted small grain straw or salt hay at a rate of 3 tons per acre. The mulch shall remain in place until seeding dates are appropriate. The mulch shall be removed; the area shall be dressed, seeded and reseeded as described above.

Areas which are to be top-soiled shall be scarified to a minimum depth of 3-5 inches (6-12 inches in compacted soils) prior to the placement of topsoil. Areas to be vegetated shall have a minimum of 4 inches of topsoil in place prior to seeding and mulching.



PLAN

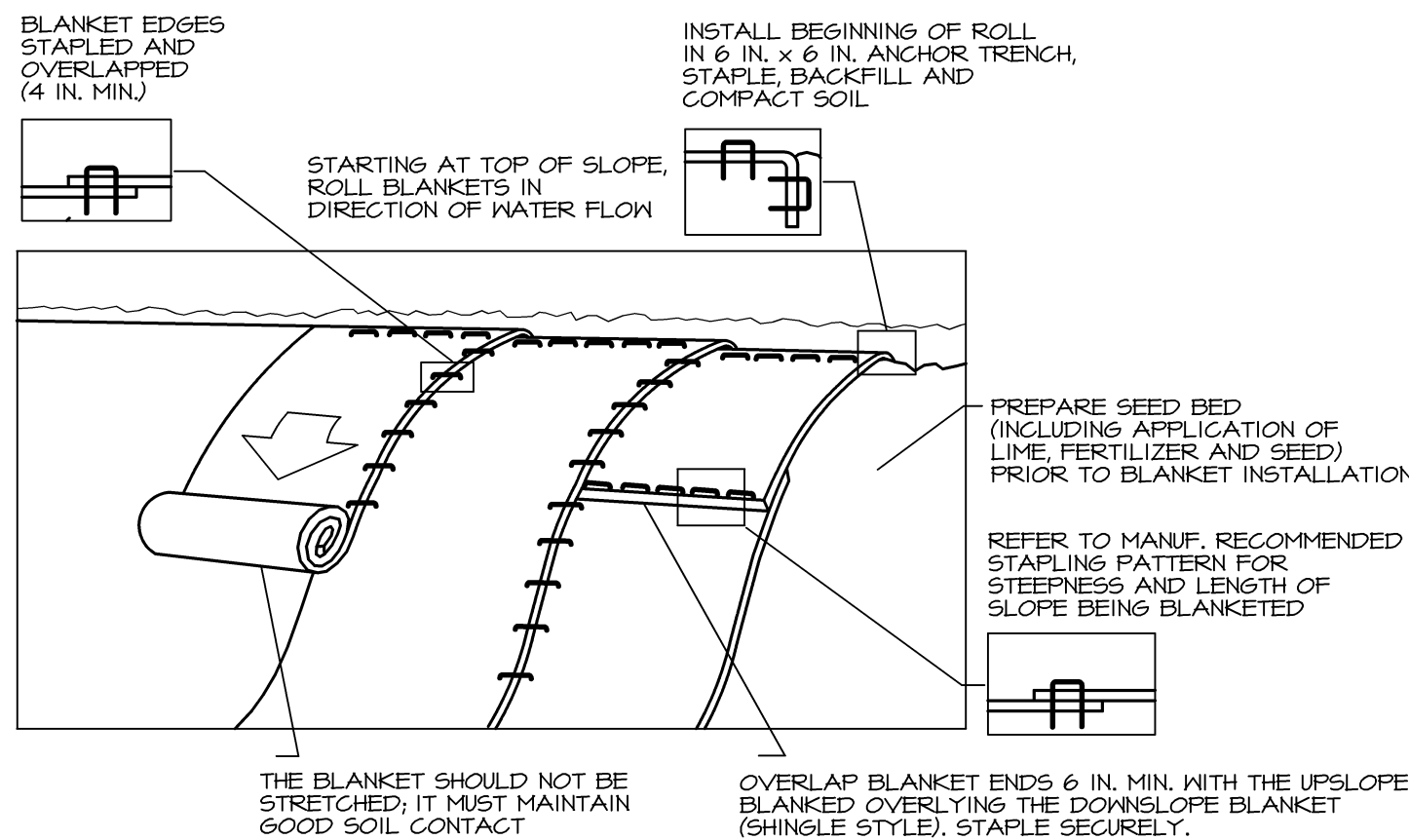
SECTION B-B

NOTE:
CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3 FT DEPTH

CONSTRUCTION SPECIFICATIONS:
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER (V RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G. RIPPED OR FRACTURED). EMPTY OR REFILL WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER.
6. MET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

ONSITE CONCRETE WASHOUT STRUCTURE

NOT TO SCALE



NOTES:

USE NORTH AMERICAN GREEN S50BN OR EQUIVALENT

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL #11-1 EROSION CONTROL BLANKET INSTALLATION

NOT TO SCALE

TOPSOIL REPLACEMENT

1. Prior to placement of topsoil, areas which are to be top-soiled shall be scarified to a minimum depth of 3 to 5 inches to permit bonding of the topsoil to the surface areas and to provide a roughened surface to prevent topsoil from sliding down slope.
2. Topsoil should be uniformly distributed across the disturbed area to a depth of 4"-8" minimum - 2 inches on fill outcrops.
3. Seeding should be done in such a manner that sodding or seeding can proceed with a minimum of additional preparation or tillage.
4. Irregularities in the surface resulting from topsoil placement should be corrected in order to prevent formation of depressions unless such depressions are part of the PCNM plan.
5. Topsoil should not be placed while the topsoil is in a frozen or muddy condition.
6. Compacted soils should be scarified 6"-12" along contour wherever possible prior to placement of topsoil. Areas to be vegetated shall have a minimum of 4 inches of topsoil in place prior to seeding and mulching, i.e. yards.

CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS

Depth (in)	Per 1,000 Square Feet	Per Acre
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1,074

EROSION & SEDIMENT CONTROL NOTES:

- All work shall be conducted in a manner to preserve all existing vegetation that is not required to be removed.
- Work shall be scheduled and executed in a manner so that ground cover is removed and earthwork is exposed to erosion for the minimum time practical.
- All off-site and on-site erosion and sediment damage shall be the responsibility of the contractor and shall be corrected immediately.
- All erosion control work shall be done in accordance with the Erosion and Pollution Control Program Manual by Pennsylvania Department of Environmental Protection (PADEP), March 2012.
- The operator shall remove from the site, recycle, or dispose of all building material and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 2601 et seq., 2711 et seq., and 2871 et seq. The contractor shall not bury, dump, or discharge any building material wastes at the site.
- A copy of the approved erosion and sediment control plan must be available at the project site at all times. The operator shall ensure that an erosion and sediment control plan has been prepared, approved by Pocopson Township, and is being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their locations.
- Before initiating any revision to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from Chester County Conservation District. The operator shall ensure that the approved erosion and sediment control plan is properly and completely implemented. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.
- Until the site is stabilized after erosion and sedimentation BMP's must be maintained properly. Maintenance must include inspections of all erosion and sedimentation BMP's after each runoff event and on a weekly basis. All site inspections will be documented in an inspection log kept for this purpose. The compliance actions and the date, time and name of the person conducting the inspection. The inspection log will be kept on site at all times and made available to the Township upon request.
- All preventive and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting must be performed immediately. If erosion and sedimentation BMP's fail to perform as expected, replacement BMP's or modifications of those installed will be needed.
- Where BMP's are found to fail to alleviate erosion or sediment pollution the permittee or co-permittee shall include the following information:
 - The location and severity of the BMP's failure and any pollution events.
 - All steps taken and proposed to correct the non-compliance.
 - The time frame to correct the non-compliance, including the exact dates when the activity will return to compliance.
- Upon completion or temporary cessation of the earth disturbance activity that will exceed 4 days, or any stage thereof, the project site shall be immediately stabilized with the appropriate temporary or permanent stabilization. Hydroseed is not considered stabilization until it germinates. Hay or straw mulch must be applied at 3.0 tons per acre.
- All topsoil and earth stockpiles shall be placed in designated areas as shown on the plan and they shall be graded to minimize erosion. The maximum height for topsoil stockpiles shall be 35 feet and the maximum loss shall be 21". No topsoil, earth or other erodible material shall be placed within 25 feet of any inlet or drainage ditch, at any time. Upon completion or temporary cessation of the earth disturbance activity, windward slopes of stockpiles shall be graded to a 2:1 slope and shall be stabilized as outlined in Note #1 above. After construction is complete, any remaining stockpile material shall be graded onto the site and stabilized or hauled off site.
- Erosion and sedimentation controls must be constructed, stabilized and functional before site disturbance within the tributary areas of those controls.
- Crushed stone construction entrances shall be maintained in place until removal is necessary for final grading of the driveway subgrade. A stockpile of rock material will be maintained on the site to maintain the thickness of the construction entrance as shown on the plans. At the end of each construction day, all sediment deposited on public roadways will be removed and returned to the construction site.
- If cut/fill doesn't balance, then the cut/fill shall be stockpiled/excavated in the locations designated on the plan.
- The contractor is responsible for ensuring that any material brought on-site is clean fill. Form FF-OI must be retained by the property owner for any fill material affected by a spill or release or a regulated substance or clean fill due to analytical testing.
- Cleaning and grubbing is to be limited to the areas that must be disturbed to accommodate proposed facilities.
- When conditions warrant, the Contractor shall control excessive dust generated by construction activities on the site.
- Site conditions may dictate that during construction, additional silt fence and/or other methods of sediment control may be required. Pocopson Township may, therefore, direct the installation of additional means of control to prevent the discharge of sediment from the site.
- Filter fabric (silt) fence must be installed at level grade. Both ends of each fence section must extend at least 10 feet up slope at 45 degrees to the main fence alignment.
- Silt fence sediment barriers shown on the plan should be repaired, cleaned or replaced if necessary. Any fence section that has been undermined or topped must be immediately replaced with a rock filter outlet.
- Sediment must be removed when accumulations reach 1/2 the height of the silt fence.
- All slopes steeper than 3:1 must be stabilized with erosion control blankets.
- All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag discharging over non-disturbed areas.
- Slopes or springs encountering during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
- Advanced clearing and grubbing operations for utility line excavation shall be limited to two times the length of pipe installation that can be completed in one day.
- All excavation for utility line installation shall be limited to the amount that can be excavated, installed, backfilled, and stabilized within one working day. All excavated material shall be deposited on the upslope side of the trench.
- Any water that accumulates in the open utility trench shall be completely removed by pumping through a filtration device before pipe placement and/or backfilling in accordance with the permanent seeding specifications. Inspection and maintenance activities must be logged onto PADEP Form 310C-FH-BNEN0083 dated 2/2012. This form shall be maintained on site at all times.
- Infiltration systems shall not be used for sediment and erosion control. Sediment laden runoff or runoff from sediment traps shall not be directed into infiltration structures or over future infiltration structures.
- An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements. Immediately after earth disturbance activities cease, the operator shall stabilize any areas disturbed by the activities. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not a finished grade and which will be restabilized within 1 year must be stabilized in accordance with the temporary vegetative stabilization specifications. Disturbed areas which are at finished grade or which will not be restabilized within 1 year must be stabilized in accordance with the permanent vegetative stabilization specifications.
- After final site stabilization has been achieved, temporary erosion and sediment BMP's must be removed.
- Areas disturbed during the placement and installation of the BMP's must be stabilized immediately.
- The Contractor shall maintain all areas where erosion is apparent for one year from the date of completion.
- Potential for thermal impacts controlled by filter sock located above stream. Water is filtered and travels over a vegetated area where it is cooled before entering the stream.
- Any changes of the Waterway and Wetland encroachment/impacts recommended by any reviewing body that will affect the PCNM or E&S plans associated with the water obstruction of encroachment activities shall have those plans updated and submitted to the Chester County Conservation District.
- Sediment tracked onto roadway or sidewalk shall be returned to the construction site immediately and deposited within the disturbed area. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer or surface water.
- Any off-site waste and borrow area must have an E&S plan reviewed and approved by the Chester County Conservation District prior to being activated.

MAINTENANCE PROGRAM:

The following maintenance procedures shall apply:

- All erosion and sedimentation control devices shall be checked every week and after every storm event. The maintenance instructions should specify that inspections be logged onto DEP 310C-FH-BNEN0083 dated 2/2012 and kept at all times.
- Should unforeseen erosive conditions develop during construction, the contractor shall take immediate action within 24 hours to remedy such conditions and to prevent damage to adjacent properties by an increase in run-off and/or sediment displacement.
- All topsoil storage areas shall be placed in an area not subject to concentrated run-off. The down slope side shall be protected by temporary silt fence and seeding.
- Seeded areas that have washed away shall be filled and graded as necessary, reseeded and mulched.
- Sediment must be removed from the silt fence sediment barriers where accumulations reach one half of the above ground height of the fence. Sediment cleaned from the silt fence shall be graded on site and stabilized. Any silt fence that has been undermined or over topped shall be replaced with stone filter outlets immediately.
- Trash removed from the control devices shall be disposed of in any approved disposal area.
- Any seeded or sodded areas that have become stripped of vegetation shall be re-established with appropriate stabilization materials. This procedure shall be repeated after every stable slump until no more signs of erosion are evident.
- The crushed stone construction entrance shall be maintained in place until removal is necessary for final grading of the driveway subgrade. A stockpile of rock material shall be kept on the site to maintain the thickness of the construction entrance as shown on the plans. At the end of each construction day, all sediment deposited on public roadways will be removed and returned to the construction site.
- Now regularly.
- The operator shall remove from the site, recycle, or dispose of all building material and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 2601 et seq., 2711 et seq., and 2871 et seq. The contractor shall not bury, dump, or discharge any building material wastes at the site.